

GENERAL NOTES

- A. SEE SHEET A501 FOR PARTITION TYPE DETAILS.
- B. PATCH AND REPAIR CONCRETE FLOORS, ALL WALL SURFACES AND WINDOW OPENING AREAS AS NEEDED TO PROVIDE FINISHED SURFACES. NOTE THAT SOME AREAS REQUIRE EXTENSIVE PATCHING AND REPAIRS. PAINT ALL EXISTING WALL SURFACES.
- C. WHERE NEW PARTITION TERMINATES PERPENDICULARLY INTO EXISTING CONSTRUCTION, PROVIDE FULL HEIGHT CAULK JOINT, BOTH SIDES OF NEW PARTITION.
- D. NEW MASONRY CONSTRUCTION TO BE TOOTHED INTO EXISTING MASONRY CONSTRUCTION.
- E. FIELD VERIFY ALL PARTITION DIMENSIONS PRIOR TO CONSTRUCTION. LAYOUT AND MARK PARTITION LOCATIONS ON FLOOR. VERIFY ALIGNMENT WITH EXISTING CONSTRUCTION AS SHOWN.

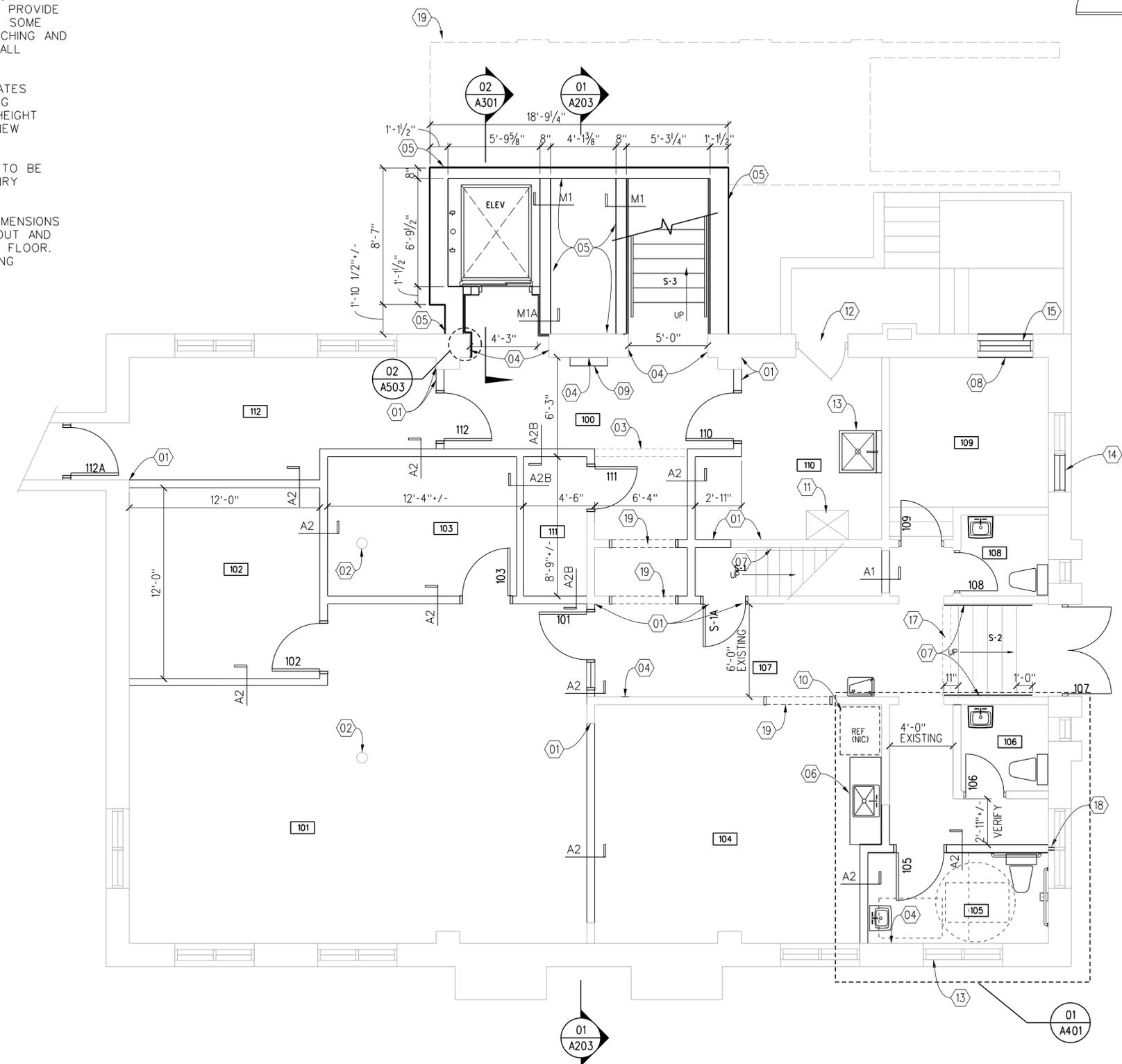
LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- NEW DOOR, FRAME, & HARDWARE

ROOM IDENTIFICATION

ROOM NUMBER	ROOM NAME	CEILING HEIGHT
100	LOBBY	8'-0"
101	OFFICE	8'-0"
102	CLERK-TREASURER'S OFFICE	8'-0"
103	FILES	8'-0"
104	BREAK ROOM	8'-0"
105	UNISEX TOILET	8'-0"
106	WOMENS TOILET	8'-0"
107	CORRIDOR	8'-0"
108	MENS TOILET	8'-0"
109	MECH/ELECTRICAL	EX
110	MECHANICAL RM	EX
111	ELEVATOR EQUIPMENT RM	8'-0"
112	CORRIDOR	8'-0"
S-1	STAIR	..
S-2	STAIR	..
S-3	STAIR	..

NO. DATE
 01 10-14-2011 FOR BIDDING
 02 10-31-2011 FOR PERMIT
 03 01-17-2012 FOR BIDDING & PERMIT



DRAWING NOTES

- 01. ALIGN WALL WITH EXISTING WALL
- 02. EXISTING COLUMN
- 03. DRYWALL BULKHEAD ABOVE. SEE DETAIL 08/A502.
- 04. AT REMOVED EXISTING PARTITION PATCH EXISTING WALL TO MATCH EXISTING ADJACENT CONSTRUCTION (TYP).
- 05. PROVIDE WATERPROOFING AT ENTIRE AREA OF NEW CONSTRUCTION BELOW GRADE AND AS INDICATED
- 06. PLASTIC LAMINATE CASEWORK. SEE ELEVATION 7/A401.
- 07. RE-ANCHOR EXISTING HANDRAILS IN THIS STAIR TO MAKE FULLY SECURE.
- 08. AT EXISTING REMOVED DOOR, PROVIDE MASONRY INFILL. MATCH THICKNESS OF EXISTING ADJACENT WALL. TOOTH IN NEW WORK. PROVIDE LIMESTONE ON EXTERIOR SIDE OF WALL TO MATCH EX. ADJACENT STONE. MATCH ADJ INTERIOR FINISH
- 09. SURFACE MOUNTED FIRE EXTINGUISHER CABINET
- 10. REFRIGERATOR - BY OWNER
- 11. EXISTING DUMBWAITER TO REMAIN
- 12. PROVIDE INSULATED PREFINISHED METAL PANEL AT EXISTING TRANSOM ABOVE EXISTING DOOR. ACCOMMODATE HVAC PIPING - SEE MECHANICAL DRAWINGS AND COORDINATE. REPAINT EXISTING DOOR AND FRAME.
- 13. JANITOR SINK
- 14. PREFINISHED METAL LOUVER. SIZE TO BE EQUAL TO EX. WINDOW OPENING. SEE MECHANICAL DWGS AND COORDINATE. LOUVER TO BE ANCHORED TO EX. WINDOW FRAME. PROVIDE ALL NECESSARY WEATHERSTRIPPING, SEALANTS, ETC.
- 15. PREFINISHED METAL LOUVER, 36" X 16" MIN. (FIELD VERIFY SIZE) TOP OF LOUVER TO BE LOCATED AT TOP OF EXISTING DOOR OPENING AND BOTTOM OF LOUVER TO BE AT 7'-0" AFF. SEE MECHANICAL DWGS AND COORDINATE. PROVIDE SEALANT, TOTAL PERIMETER, BOTH SIDES.
- 17. DRYWALL BULKHEAD ABOVE. SEE DETAIL 09/A502.
- 18. PROVIDE PAINTED SHEET METAL ENCLOSURE TRIM BETWEEN PARTITION AND EXISTING WINDOW FRAME. ALIGN PARTITION WITH CENTER OF WINDOW.

19. CASED OPENING - SEE FRAME TYPE F1-A ON SHEET A601. PROVIDE NEW HEADER - SEE STRUCT DWGS

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 Architecture | Engineering | Interiors | Planning
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DESIGNED: LEWIS
 COMM. NO.: 5917.00
 DRAWN: LEWIS/SAID
 DATE: 01-17-2012
 CHECKED: BARTOLT
 PROJ. MANAGER: M. SMITH

FIRST FLOOR PLAN



FIRST FLOOR

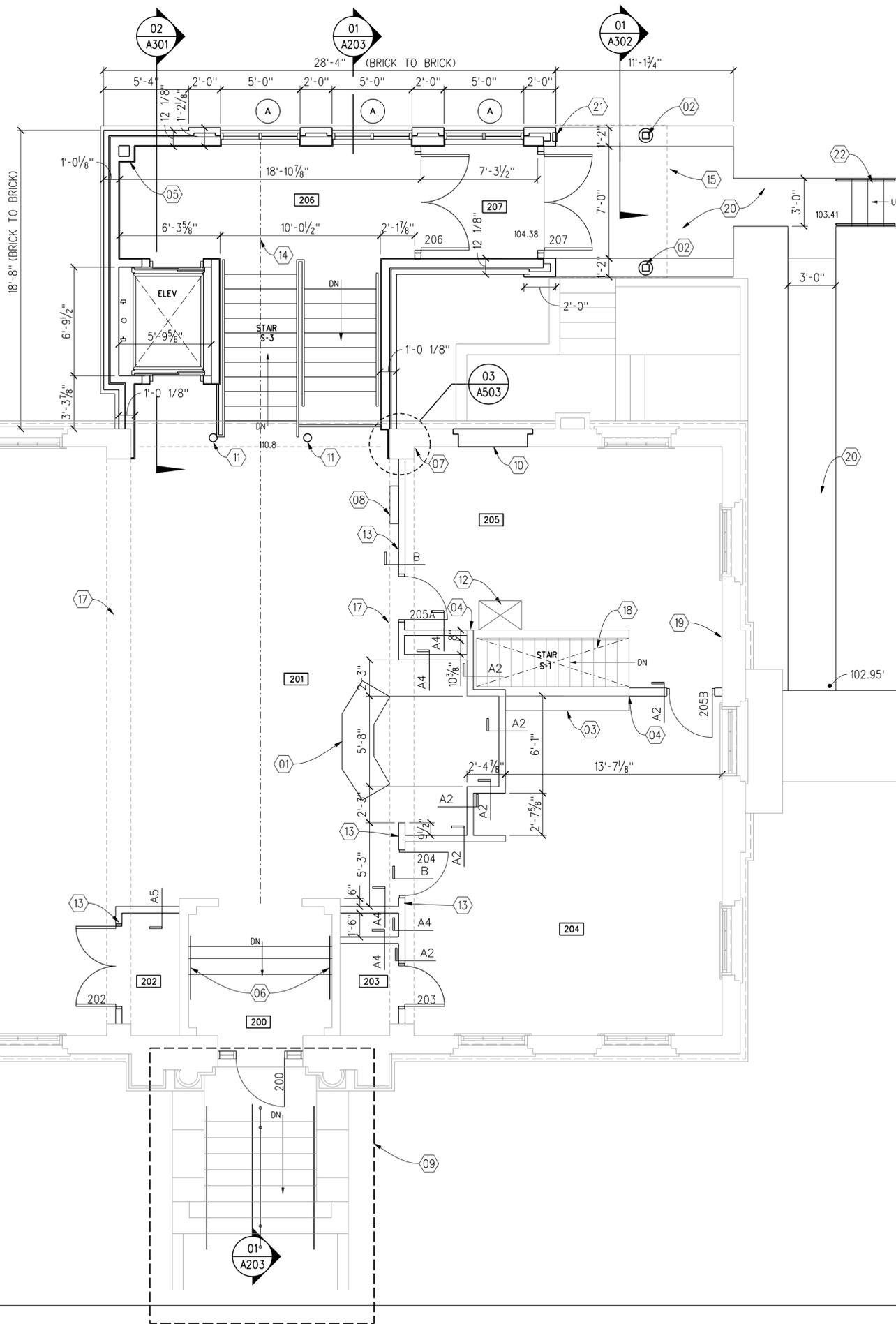
FLOOR PLAN

1/4" SCALE 0 2 4 6 FT 01 **A101** 03

01-17-2012 FOR BIDDING & PERMIT

GENERAL NOTES

- A SEE SHEET A501 FOR PARTITION TYPE DETAILS
- B PATCH AND REPAIR WOOD FLOORS AND PLASTER WALLS. INFILL AREAS OF FLOORING FROM FORMER SHELVING LOCATIONS AS NEEDED TO PROVIDE SUITABLE SUBFLOOR FOR FINISH FLOORING. PATCH PLASTER WALLS TO PROVIDE FINISHED SURFACES. PAINT ALL EXISTING WALL SURFACES. PROVIDE FIBERGLAS/COATING SYSTEM TO EXISTING PLASTER WALLS OF SECOND FLOOR.
- C WHERE NEW PARTITION TERMINATES PERPENDICULARLY INTO EXISTING CONSTRUCTION, PROVIDE FULL HEIGHT CAULK JOINT, BOTH SIDES OF NEW PARTITION.
- D NEW MASONRY CONSTRUCTION TO BE TOOTHED INTO EXISTING MASONRY CONSTRUCTION.
- E PROVIDE NEW WOOD BASE BOARD AND TOE MOLDING AROUND PERIMETER WALLS AND NEW PARTITIONS IN EXISTING BUILDING. MATCH PROFILE AND FINISH OF EXISTING (REMOVED) BASE BOARDS.
- F ALL WALKS/PATIOS SHALL BE DOWELED INTO FOUNDATION FOR FROST HEAVE PROTECTION. REFER TO STRUCTURAL PLANS FOR DETAILS.
- G PROVIDE A THICKENED EDGE WHERE NEW CONCRETE MEETS EXISTING PAVEMENT OR WALKS
- H CONTRACTOR TO VERIFY SIZE OF PADS FOR ALL EQUIPMENT PRIOR TO INSTALLATION



LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- NEW DOOR, FRAME, & HARDWARE
- WINDOW TYPE - SEE SHEET A601

DRAWING NOTES

01. DESK BY OWNER (NIC).
02. STEEL COLUMN - SEE STRUCTURAL DRAWINGS.
03. REUSE EXISTING LIBRARY SHELF. SEE NOTE #6 ON AD02.
04. ALIGN WALL WITH EXISTING WALL
05. METAL STUD & DRYWALL CHASE FOR ROOF LEADER. PROVIDE 8" CLEAR INSIDE DIM, BOTH DIRECTIONS.
06. NEW METAL HANDRAILS.
07. AT REMOVED EXISTING CONSTRUCTION, PATCH WALL/CEILING TO MATCH EXISTING ADJACENT CONSTRUCTION
08. SURFACE MOUNTED FIRE EXTINGUISHER CABINET
09. SEE ENLARGED PLAN 05 ON SHEET A401 FOR WORK AT EXISTING EXTERIOR STAIRS.
10. PROVIDE MASONRY INFILL AT EXISTING REMOVED WINDOW. MATCH THICKNESS OF EXISTING ADJACENT WALL. PROVIDE PLASTER FINISH ON ROOM 205 SIDE TO MATCH EXISTING ADJACENT CONSTRUCTION.
11. STEEL COLUMN WITH SPRAY FOAM INSULATION INSIDE. SEE STRUCTURAL DRAWINGS. PAINT COLUMNS (TYP)
12. EXISTING DUMBWAITER TO REMAIN.
13. ALIGN CENTER OF PARTITION WITH CENTER OF BEAM ABOVE
14. CENTERLINE OF STAIR DOWN TO ROOM 206 AND NEW WINDOW (ROOM 206) TO ALIGN WITH CENTERLINE OF EXISTING DOOR 200.
15. EDGE OF CANOPY ABOVE.
16. NEW METAL GRATING FOR MECHANICAL UNIT. SEE STRUCT AND MECH DWGS
17. EXISTING BEAM ABOVE TO REMAIN.
18. PROVIDE PAINTED 3/4" PLYWOOD CAP AND WOOD SUPPORT FRAMING ABOVE EXISTING STAIR S-1 WALLS.
19. PATCH EXTENSIVE CRACK IN PLASTER WALL AND WHERE SHELVING WAS REMOVED
20. NEW 4" THICK CONCRETE WALK, SEE DETAIL 02/A302.
21. KNOX BOX - VERIFY EXACT LOCATION WITH LOCAL FIRE DEPARTMENT
22. CONCRETE STEPS AND METAL HANDRAILS. SEE DETAIL 07/A501.

ROOM IDENTIFICATION

ROOM NUMBER	ROOM NAME	CEILING HEIGHT
200	FOYER	EX
201	COUNCIL CHAMBERS	EX
202	CLOSET	EX
203	CLOSET	EX
204	MAYOR'S OFFICE	EX
205	CONFERENCE	EX
206	LOBBY	13'-4"
207	VESTIBULE	13'-4"
S-1	STAIR	--
S-3	STAIR	--

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BARTOLT	M. SMITH

SECOND FLOOR PLAN

DRAWING NUMBER ISSUE
A102 03

SECOND FLOOR

FLOOR PLAN

1/4" SCALE 0 2 4 6 FT



GENERAL NOTES (APPLIES TO A201 & A202)

- A. EXISTING WINDOWS: EXISTING STORM PANELS ON UPPER PORTIONS OF UPPER LEVEL WINDOWS ARE TO REMAIN. REPLACE BROKEN GLASS TO MATCH EXISTING. SEE DRAWING NOTES FOR LOCATIONS. RE-PUTTY ALL WINDOWS EXCEPT UPPER PORTIONS WITH EXISTING STORM PANELS. PAINT EXTERIOR WINDOWS AND TRIM.
- B. REPAIR OPERABLE SASHES AND REPLACE ROPES AND WEIGHTS TO PROVIDE PROPER OPERATING UNITS. APPLIES TO (4) EXISTING DOUBLE HUNG WINDOWS ON NORTH ELEVATION.
- C. PROVIDE NEW FIXED STORM WINDOWS ON EXTERIOR OF ALL EXISTING WINDOWS EXCEPT AS NOTED ABOVE. (BOTH LEVELS). GLASS TYPE GL-7 IN ALUMINUM FRAME
- D. LIGHTLY CLEAN INTERIOR WINDOW WOODWORK AND TRIM. REPLACE MISSING OR DAMAGED PIECE. PAINT TO MATCH FINISH OF EXISTING.
- E. MASONRY AND STONE: REMOVE IVY AND ANY OTHER VEGETATIVE GROWTH. REMOVE ALL EFFLORESCENCE. PATCH LIMESTONE AS INDICATED.



NORTH

ELEVATION

1/4 0 2 4 6FT
SCALE

02

DRAWING NOTES

- 01. REPOINT 20% OF EXISTING MORTAR JOINTS IN CHIMNEY. AT CONTRACTORS OPTION, REMOVE TOP 10' AND PROVIDE SOLID LIMESTONE CAP.
- 02. CAREFULLY REMOVE ALL VINYL FASCIA AND SOFFIT CLADDING TO EXPOSE WOOD FASCIA, SOFFIT, MOLDINGS AND TRIM. USE CARE TO MINIMIZE DAMAGE TO EXISTING WOOD. REPAIR DAMAGED AND SPLIT WOOD. PROVIDE ADDITIONAL WOOD TRIM AS REQUIRED TO MATCH PROFILE ON DETAIL 06/A503. PLUG AND PATCH HOLES. PREPARE, PRIME, AND PAINT ALL WOOD MOLDINGS AND TRIM. IF DETERIORATED SECTIONS OF WOODWORK ARE DISCOVERED PROVIDE REPLACEMENT BASED ON ESTABLISHED UNIT PRICES. OBTAIN APPROVAL FROM ARCHITECT PRIOR TO PERFORMING UNIT PRICE REPAIRS.
- 03. REPLACE EXISTING PVC DOWNSPOUTS WITH NEW 4 INCH DIAMETER PREFINISHED GALVANIZED STEEL CORRUGATED ROUND DOWNSPOUTS.
- 04. EXTEND RAIN DRAINAGE LINES UNDERGROUND TO CURB. CUT SIDEWALKS AS NEEDED AND PROVIDE GALV. STEEL CHECKERED PLATE COVERS FLUSH WITH AND ACROSS SIDEWALKS. EXTEND RAIN DRAINAGE LINES TO EDGE OF PROPERTY AND DAYLIGHT LINE.
- 05. REPLACE BROKEN OR MISMATCHED PIECES OF GLASS (SHOWN SHADED). REPLACE BROKEN OR MISMATCHED GLASS PIECES ON LOWER LEVEL WITH TRANSLUCENT PATTERN GLASS TO MATCH EXISTING. REPLACE BROKEN OR MISMATCHED GLASS PIECES ON UPPER LEVEL WITH CLEAR GLASS TO MATCH EXISTING.
- 06. REMOVE TAPE LETTERS THAT SPELL "PUBLIC LIBRARY". PREPARE AND PAINT EXISTING WOOD TRIM AND FRAMING ABOVE ENTRY. REPAIR DENTIC MOULDING - PAINT

DRAWING NOTES

- 01. BRICK TO MATCH EXISTING
- 02. CAREFULLY REMOVE ALL VINYL FASCIA AND SOFFIT CLADDING TO EXPOSE WOOD FASCIA, SOFFIT, MOLDINGS AND TRIM. USE CARE TO MINIMIZE DAMAGE TO EXISTING WOOD. REPAIR DAMAGED AND SPLIT WOOD. PROVIDE ADDITIONAL WOOD TRIM AS REQUIRED TO MATCH PROFILE ON DETAIL 06/A503. PLUG AND PATCH HOLES. PAINT ALL WOOD MOLDINGS AND TRIM. IF DETERIORATED SECTIONS OF WOODWORK ARE DISCOVERED PROVIDE REPLACEMENT BASED ON ESTABLISHED UNIT PRICES. OBTAIN APPROVAL FROM ARCHITECT PRIOR TO PERFORMING UNIT PRICE REPAIRS.
- 03. EXISTING CONNECTOR PASSAGE.
- 04. 8" LONG OVERFLOW SCUPPER IN GRAVEL STOP.
- 05. PREFINISHED METAL PANEL.
- 06. INDIANA LIMESTONE TO MATCH EXISTING TYPE, COLOR, AND TEXTURE. STONE TO BE SMOOTH WITH NO REVEALS.
- 07. REPOINT 20% OF MORTAR JOINTS IN EXISTING CHIMNEY. AT CONTRACTORS OPTION REMOVE TOP 10' OF CHIMNEY AND PROVIDE SOLID LIMESTONE CAP.
- 08. REPOINT MORTAR AND PATCH LIMESTONE CRACKS.
- 09. REPLACE EXISTING PVC DOWNSPOUTS WITH NEW 4 INCH DIAMETER PREFINISHED GALVANIZED STEEL CORRUGATED ROUND DOWNSPOUTS.
- 10. TIE NEW DOWNSPOUT INTO EXISTING UNDERGROUND DRAIN LINE. PROVIDE NEW P.V.C. HUB (TYP.)
- 11. FACE BRICK HEADER COURSE.
- 12. METAL GRAVEL STOP



EAST

ELEVATION

1/4 0 2 4 6FT
SCALE

01

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**EXTERIOR
ELEVATIONS**

DRAWING NUMBER ISSUE

A201 03

GENERAL NOTES (APPLIES TO A201 & A202)

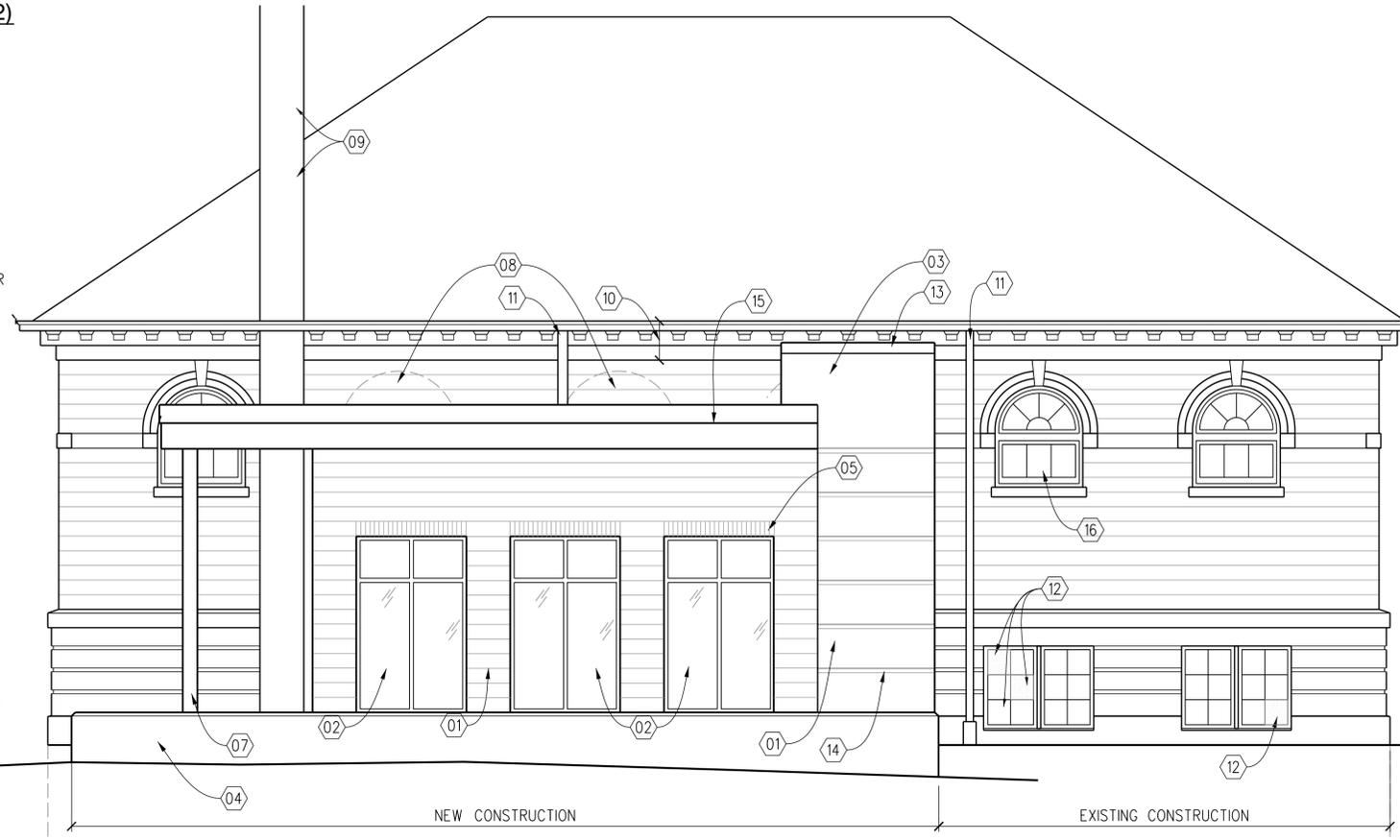
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- B. REPAIR OPERABLE SASHES AND REPLACE ROPES AND WEIGHTS TO PROVIDE PROPER OPERATING UNITS. APPLIES TO (4) EXISTING DOUBLE HUNG WINDOWS ON NORTH ELEVATION.
- C. PROVIDE NEW FIXED STORM WINDOWS ON EXTERIOR OF ALL EXISTING WINDOWS EXCEPT AS NOTED ABOVE. (BOTH LEVELS). GLASS TYPE GL-7 IN ALUMINUM FRAME
- D. LIGHTLY CLEAN INTERIOR WINDOW WOODWORK AND TRIM. REPLACE MISSING OR DAMAGED PIECE. PAINT TO MATCH FINISH OF EXISTING.
- E. MASONRY AND STONE: REMOVE IVY AND ANY OTHER VEGETATIVE GROWTH. REMOVE ALL EFFLORESCENCE. PATCH LIMESTONE AS INDICATED.

DRAWING NOTES

- 01. BRICK TO MATCH EXISTING
- 02. ALUMINUM FRAMED GLASS STOREFRONT
- 03. PREFINISHED INSULATED METAL PANEL.
- 04. INDIANA LIMESTONE TO MATCH EXISTING TYPE, COLOR, AND TEXTURE. STONE TO BE SMOOTH WITH NO REVEALS.
- 05. FACE BRICK SOLDIER COURSE AT EACH WINDOW.
- 06. NOT USED

DRAWING NOTES - CONTINUED

- 07. METAL COLUMN
- 08. PROVIDE MASONRY IN FILL AT EXISTING REMOVED WINDOWS. MATCH THICKNESS OF EXISTING ADJACENT CONSTRUCTION.
- 09. REPOINT 20% OF MORTAR JOINTS AT EXISTING CHIMNEY. AT CONTRACTORS OPTION, REMOVE TOP 10' AND PROVIDE SOLID LIMESTONE CAP.
- 10. CAREFULLY REMOVE ALL VINYL FASCIA AND SOFFIT CLADDING TO EXPOSE WOOD FASCIA, SOFFIT, MOLDINGS AND TRIM. USE CARE TO MINIMIZE DAMAGE TO EXISTING WOOD. REPAIR DAMAGED AND SPLIT WOOD. PROVIDE ADDITIONAL WOOD TRIM AS REQUIRED TO MATCH PROFILE ON DETAIL 06/A503. PLUG AND PATCH HOLES. PAINT ALL WOOD MOULDINGS AND TRIM. IF DETERIORATED SECTIONS OF WOODWORK ARE DISCOVERED PROVIDE REPLACEMENT BASED ON ESTABLISHED UNIT PRICES. OBTAIN APPROVAL FROM ARCHITECT PRIOR TO PERFORMING UNIT PRICE REPAIRS.
- 11. REPLACE EXISTING PVC DOWNSPOUTS WITH NEW 4 INCH DIAMETER PRE FINISHED GALVANIZED STEEL CORRUGATED ROUND DOWNSPOUT. PROVIDE PVC BOOT AT GRADE.
- 12. REPLACE BROKEN OR MISMATCHED PIECES OF GLASS (SHOWN SHADED). REPLACE BROKEN OR MISMATCHED GLASS PIECES ON LOWER LEVEL WITH TRANSLUCENT PATTERN GLASS TO MATCH EXISTING. REPLACE BROKEN OR MISMATCHED GLASS PIECES ON UPPER LEVEL WITH CLEAR GLASS TO MATCH EXISTING.
- 13. PRE FINISHED METAL GRAVEL STOP
- 14. FACE BRICK HEADER COURSE.
- 15. PRE FINISHED METAL FASCIA
- 16. REMOVE EXISTING WINDOW AIR CONDITIONING UNIT. REPAIR DAMAGED LOWER SASH, INSTALL NEW WOOD MUNTINS AND GLASS TO MATCH ADJACENT WINDOWS.



SOUTH

ELEVATION

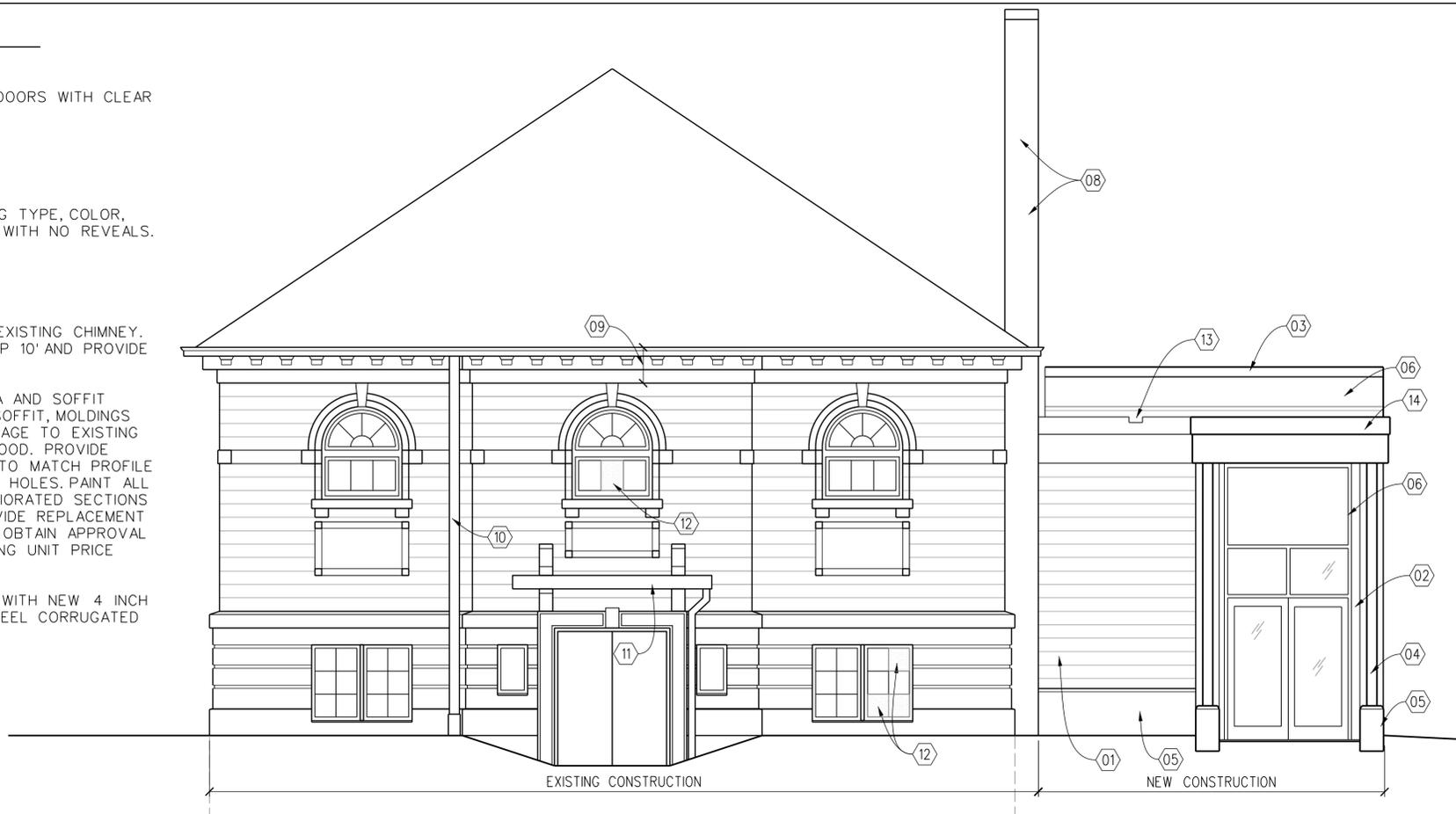
1/4 0 2 4 6FT SCALE 02

DRAWING NOTES

- 01. BRICK TO MATCH EXISTING
- 02. ALUMINUM FRAMED STOREFRONT AND DOORS WITH CLEAR LOW-E GLASS
- 03. PREFINISHED METAL GRAVEL STOP.
- 04. METAL COLUMN
- 05. INDIANA LIMESTONE TO MATCH EXISTING TYPE, COLOR, AND TEXTURE. STONE TO BE SMOOTH WITH NO REVEALS.
- 06. PREFINISHED INSULATED METAL PANEL.
- 07. NOT USED.
- 08. REPOINT 20% OF MORTAR JOINTS AT EXISTING CHIMNEY. AT CONTRACTORS OPTION, REMOVE TOP 10' AND PROVIDE SOLID LIMESTONE CAP.
- 09. CAREFULLY REMOVE ALL VINYL FASCIA AND SOFFIT CLADDING TO EXPOSE WOOD FASCIA, SOFFIT, MOLDINGS AND TRIM. USE CARE TO MINIMIZE DAMAGE TO EXISTING WOOD. REPAIR DAMAGED AND SPLIT WOOD. PROVIDE ADDITIONAL WOOD TRIM AS REQUIRED TO MATCH PROFILE ON DETAIL 06/A503. PLUG AND PATCH HOLES. PAINT ALL WOOD MOULDINGS AND TRIM. IF DETERIORATED SECTIONS OF WOODWORK ARE DISCOVERED PROVIDE REPLACEMENT BASED ON ESTABLISHED UNIT PRICES. OBTAIN APPROVAL FROM ARCHITECT PRIOR TO PERFORMING UNIT PRICE REPAIRS.
- 10. REPLACE EXISTING PVC DOWNSPOUTS WITH NEW 4 INCH DIAMETER PREFINISHED GALVANIZED STEEL CORRUGATED ROUND DOWNSPOUTS.

DRAWING NOTES - CONTINUED

- 11. REPLACE DAMAGED SOFFIT BOARDS. COVER ENTIRE AREA WITH ALUMINUM SOFFIT PANELS. REPAIR AND PAINT ORNAMENTAL BRACKETS AND REPLACE EXISTING PVC DOWNSPOUT WITH NEW PREFINISHED GALVANIZED STEEL CORRUGATED ROUND DOWNSPOUT, SIZE TO MATCH EXISTING.
- 12. REPLACE BROKEN OR MISMATCHED PIECES OF GLASS (SHOWN SHADED). REPLACE BROKEN OR MISMATCHED GLASS PIECES ON LOWER LEVEL WITH TRANSLUCENT PATTERN GLASS TO MATCH EXISTING. REPLACE BROKEN OR MISMATCHED GLASS PIECES ON UPPER LEVEL WITH CLEAR GLASS TO MATCH EXISTING.
- 13. OVERFLOW SCUPPER
- 14. PREFINISHED METAL FASCIA



WEST

ELEVATION

1/4 0 2 4 6FT SCALE 01

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A202 03